

BUILDING PERMIT APPLICATION

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Inspection: permits.mynevadacounty.com/citizenaccess/



COUNTY OF NEVADA COMMUNITY DEVELOPMENT AGENCY BUILDING DEPARTMENT

950 MAIDU AVE SUITE 170 NEVADA CITY, CA 95959-8617 (OFFICE [530] 265.1222)

Permits become null and void if work is not commenced within 12 months (1 year) from date of issuance, if work is suspended at any time for more than 180 days and/or if work is done in violation of any County or State laws and/or ordinances.

Project Address		APN #:		- -	
Applicant's Name		Phone #			
Property Owner		Phone #			
Address	City	State	Zip		
Applicant's email address:			Cross Street:		
Engineer:	Address	City	State	Zip	License #
Architect:	Address	City	State	Zip	License #

Project scope of Work:

Occupancy Type:	Construction Type:	Sq.Ft.		Manufactured / Modular: Yes No	
Occupancy Type:	Construction Type:	Sq.Ft.		Septic Sewer Well P.Water	
Occupancy Type:	Construction Type:	Sq.Ft.		Number of Dwellings :	
Project Valuation: \$			Snow Load : lbs.		

STATEMENT OF INTENT

No work has started on this project regarding the work proposed.

If my project exceeds 600 sq.ft. or project cost estimates are greater than fifty thousand dollars (\$50,000), I agree to use the McCourtney Road Transfer Station, the Eastern Regional Landfill in Truckee Region, a Construction and Demolition materials Recycling Service provided by a franchise waste hauler agreement or another Construction and Demolition recycling facility.

I hereby certify that I have read this application, that the above information is correct and that I am the Owner or duly Authorized Agent of the Owner. I agree to comply with all County Ordinances and State Laws relating to building construction. I hereby authorize representatives of the County of Nevada to enter upon the above-mentioned property for inspection purposes and to take photographs. I agree to save, indemnify and keep harmless Nevada County CDA against liabilities, judgments, costs and expenses which may accrue against Nevada County in consequence of the granting of this permit.

Asbestos and Lead Paint Removal

- Is asbestos presumed to be present? Yes No
- Is asbestos NESHAP notification required? Yes¹ No²
- Is lead based paint presumed to be present? Yes³ No
- Performing renovation, repair and/or painting on a residential home, childcare facility, or preschool that was built prior to 1978? Yes⁴ No

¹If yes, a copy of the notification that has been submitted to NESHAP shall be required.

²If no, a copy of the disposal receipts shall be required prior to final occupancy.

³If yes, contact NCDEH at 530-265-1222 for review and written approval for the proposed project

⁴Submit a copy of EPA certified renovator certification (does not apply to homeowners working on their own property)

All work for which a permit is issued shall be completed within 2 years from the date of issuance. If the work is not completed within 2 years of issuance the permit shall expire. Upon written request and a showing of good cause, the Building Official may extend the permit for an additional period, not to exceed 3 years from the date the permit was issued. Ord. 2374 Sec.L-V 2.8 C

LICENSED CONTRACTOR DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Profession Code, and my license status is in full force and effect.

Contractor: _____ License Class: _____ License #: _____ Exp. Date : _____

Address: _____ Phone # : _____ Email: _____

WORKERS' COMPENSATION DECLARATION

-WARNING-

Failure to secure Workers' Compensation Coverage is unlawful and shall subject an employer to criminal penalties and civil fines up to one hundred thousand dollars (\$100,000) in addition to the cost of compensation, damages as provided for in Section 3706 of the Labor Code, interest and attorney's fees.

Check **ONE BOX** only: I hereby affirm ***under penalty of perjury*** one of the following declarations:

- I have and will maintain a certificate of consent to self-insure for Workers' Compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

Policy #: _____

- I have and will maintain Workers' Compensation Insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number is:

Carrier : _____ Policy #: _____ Exp: _____

- I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation laws of California, and agree that, if I should become subject to the Workers' Compensations provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

My signature below certifies the Workers' Compensation information is true and correct.

OWNER-BUILDER DECLARATION

Check **ONE BOX** only: I hereby affirm ***under penalty of perjury*** one of the following declarations:

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the following reason shown by the checkmark below: (Section 7031.5 Business and Professions Code) Any city or county that requires a permit to construct, alter, improve, demol-ish, or repair any structure, prior to issuance, shall also require the applicant to file a signed statement that he or she is licensed pursuant to the provision of the Contractors' State License Law (Chapter 9 [commencing with section 7000] of Division 3 of the Business and Profession Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).

I, as owner of the property, or my employees with wages as their sole compensations, () will do all () or portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Profession Code: The Contractor's State license Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provide that the improvements are not intended or offered for sale. If however, the building or improvement is sold with in one year of completion, the Owner-Builder will have the burden of proving that he or she did not build or improve for the purpose of sale).

I, as owner of the property, am exclusively contracting with Licensed contractors to construct the project (Sec.7044, Business and Profession Code: The Contractor's State license Law does not apply to an owner of property who builds or improves thereon, and who contracts for the projects with a licensed contractor pursuant to the Contractor's State License Law).

I am exempt from licensure under Contractors' State Law for the following reason: _____

By my signature I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an Owner-Builder if it has not been constructed in its entirety by Licensed Contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Profession Code, is available upon request when this application is submitted or at the following web site: www.leginfo.ca.gov/calaw.html

CONSTRUCTION LENDING DECLARATION

I hereby affirm under penalty and perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Section 8172, Civil Code). Lender Name: _____ Branch Designation: _____ Lender Address: _____

APPLICANTS DECLARATION

By my signature below, I certify that I am a California licensed contractor or authorized agent for the California licensed contractor* or the property owner or authorized to act on the property owner's behalf*. I have read this permit application and the information I have provided is correct. I agree to comply with all applicable City and County ordinances and state laws relating to building construction. I authorize representatives from the County to enter upon the above-identified property for inspection purposes. *I understand this permit will expire 12 months (1 yr) from issue date or 180 days from last passed inspection.* *requires separate authorization form

Signature: _____

Print: _____

Date: _____



COUNTY OF NEVADA COMMUNITY DEVELOPMENT AGENCY

Building Department
950 MAIDU AVENUE, SUITE 170, NEVADA CITY, CA 95959-8617
(530) 265-1222 FAX (530) 265-8794 <http://mynevadacounty.com>
Craig Griesbach, Building Director

RESIDENTIAL PLAN SUBMITTAL CHECKLIST

THE FOLLOWING ITEMS ARE REQUIRED FOR A COMPLETE PLAN SUBMITTAL. INCOMPLETE SUBMITTALS WILL NOT BE ACCEPTED; PLEASE READ CAREFULLY! THIS COMPLETED AND SIGNED FORM MUST ACCOMPANY A BUILDING PERMIT AND/OR SEWAGE DISPOSAL PERMIT APPLICATION

JOB ADDRESS: _____

APN: _____

	<p>THREE (3) SITE PLANS AND THREE (3) COMPLETE BUILDING SETS ARE REQUIRED. <i>(additional sets may be required for larger projects; see the Building Department staff with questions)</i> Plans must be to scale drawn in blue or black ink, on clear unlined paper; minimum size is 11" x 17", maximum size 24" X 36". An additional two (2) sets are required for septic permit, if applicable. Structural Minimum Scale is 1/8"=1'-0", 1/4"=1'-0" is preferred. The Scope of Work must be fully stated and detailed on the plans. For building plans to be useful, they must be legible and drawn to scale. Plans should be prepared with lettering of sufficient contrast to be readable when scanning. Photocopies or prints may be submitted. Pencil, whiteout, taped notes/details and any other submittal that is illegible or not completed in a workmanlike manner will not be accepted.</p>
	SITE PLAN: See site plan requirements on back of this sheet
	GRADING AND DRAINAGE PLANS: See site plan requirements on back of this sheet
	FLOOR PLANS: Fully dimensioned with square footage summary, room uses labeled, hold-down and shear wall locations/schedules, fire separation between house and garage, window/door sizes and types, mechanical and plumbing appliance locations, ceiling heights, all energy components shown (insulation, window efficiencies, equipment, HERS testing requirements, etc), compliance with Wildland Urban Interface (WUI) requirements, stairs and stair details, etc.
	ELEVATIONS: All four sides of the structure showing doors, windows, chimneys, roof pitch, building height, type of exterior finishes, grade level and slopes, roof type and classification, etc.
	CROSS SECTIONS: Structural sections, insulation locations/R-values, ceiling heights, referenced details, earth to wood clearances, typical finishes, etc.
	ELECTRICAL PLANS: Smoke/Carbon Monoxide locations/requirements, lights, switches, receptacle outlets, GFCI/AFCI outlet locations, minimum electrical notes, main/sub-panel locations, energy lighting requirements, etc.
	MECHANICAL/FUEL GAS PLANS: Duct supply and makeup type/size/location, duct sizing, and register sizing per the CMC, CEC & CGBSC (if applicable). Gas line sizing plans for high demand gas appliances (instantaneous water heaters, swimming pool heaters, etc).
	TITLE 24 ENERGY CALCULATIONS: <i>(registered documents and signed by plan design professionals as required)</i> included as part of the plan sheets. All energy components shall be reflected throughout the plan sheets.
	GREEN BUILDING STANDARDS: CA Green Building Standards Mandatory Measures Checklists shall be made part of the plans <u>for new construction of additions of conditioned space</u>
	FIRE SPRINKLER PLANS/CALCULATIONS: For new construction and substantial improvements. 2 sets prepared by a licensed fire sprinkler contractor and/or a CA licensed fire sprinkler engineer (wet stamped/signed)
	FOUNDATION PLAN: Fully dimensioned, location of braced/shear walls and hold-downs, shear/hold-down schedules, grade of rebar, strength of concrete, pier sizes/locations, reinforcement, footing locations, cripple walls, etc.
	FLOOR FRAMING PLAN: Floor joist size/type/spacing, girder size/type/spacing, species and grades, post locations, girder to post connections, cripple wall framing, mechanical hardware, blocking, floor sheathing type/attachment, etc
	TRUSS CALCULATIONS: 2 wet stamped/signed sets indicating the applicable ground/roof snow load with a wet stamped/signed letter of compliance from Engineer of Record
	ROOF FRAMING PLAN: Truss and/or rafter type/spacing, top plate connection details, bracing details, ceiling joist framing/attachment, beam types/sizes, material species/grades, mechanical hardware, post sizes/locations, ventilation, bearing walls identified, etc.
	STRUCTURAL ENGINEERING CALCULATIONS: 2 wet stamped/signed sets for nonconventional framing and/or high snow loading
	STRUCTURAL DETAILS/NOTES: Foundation/slab details, raised floor details, shear transfer, post and beam connections, ledger connections, guardrail attachments, stair framing connections, etc.
	GEOTECHNICAL REPORT: If applicable per 2019 CBC Section 1803.1 or if expansive soils are known to exist
	SPECIAL INSPECTION AGREEMENT FORM: Completed/submitted for any required special inspections (welding, soil compaction, high strength bolting, etc)
	DEFERRED SUBMITTAL APPLICATION: Completed/submitted for any items requesting to be deferred (fire sprinklers and/or truss calculations)
	APPROVAL FROM CITY OF NEVADA CITY: If project is located within the City Limits of Nevada City
	APPROVAL LETTERS WITH DEVELOPMENT CONDITIONS FROM THE PLANNING DEPARTMENT (If applicable)

APPLICANT'S SIGNATURE/DATE _____ **STAFF'S SIGNATURE/DATE** _____

THIS DOCUMENT IS INTENDED ONLY AS A GUIDE. SPECIFIC REQUIREMENTS OR DOCUMENTS MAY DIFFER BASED UPON YOUR SPECIFIC APPLICATION AND THE BUILDING CODE. ALL PLANS SUBMITTED BECOME THE PROPERTY OF THE COUNTY OF NEVADA.

It is unlawful to alter the substance of any official form or document of Nevada County.

SITE PLAN REQUIREMENTS

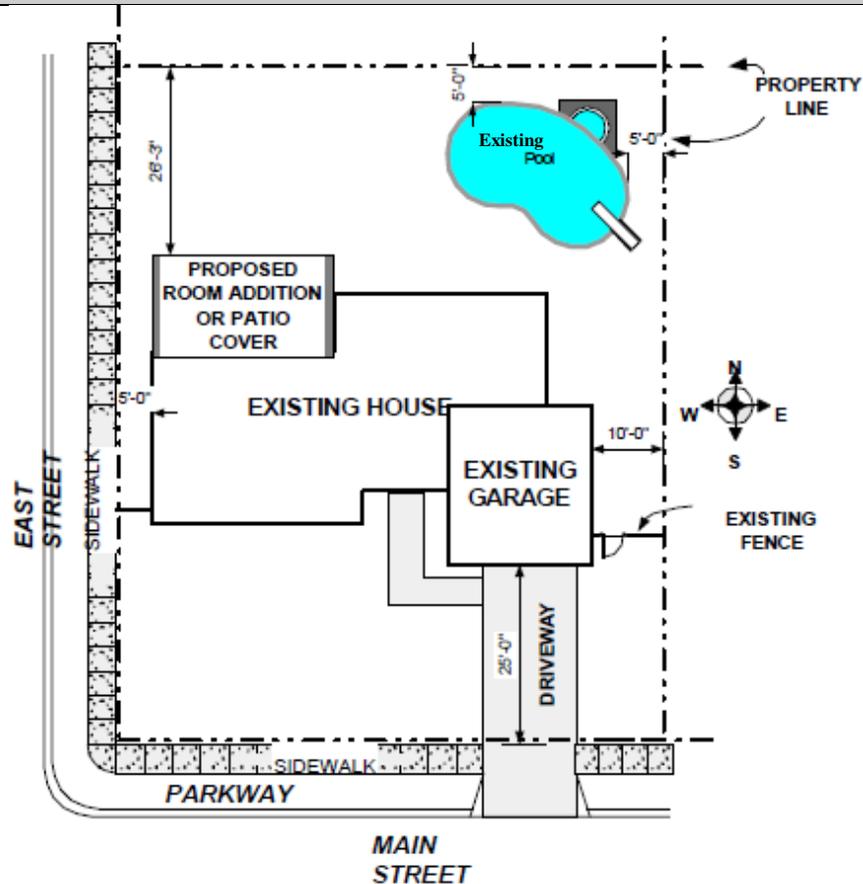
<p>The entire property must be shown on the site plan (including all property lines & dimensions). If the property is too large then a smaller scale may be used; however, a second site plan will need to be provided of the area of development at a recognized scale. <i>Minimum sheet size 11"x17", minimum 3 sets of plans.</i></p>	
<p>Site Plan Recognized Scales: 1"= 10', 1"= 20', 1"= 30', 1"= 40', 1"= 50', 1"= 60'</p>	
<p>GENERAL INFORMATION TO BE INCLUDED ON TITLE SHEET</p>	
<ul style="list-style-type: none"> ➤ Owner's Name, Phone #, Mailing Address ➤ Project Site Address ➤ Assessor's Parcel Number (APN) ➤ Vicinity Map ➤ North Arrow & Scale ➤ Occupancy Type(s) per CBC ➤ Construction Type per CBC 	<ul style="list-style-type: none"> ➤ Sheet Index ➤ Statement of Compliance (CA codes used) ➤ Preparer's Name/Address ➤ Date of Preparation/Revision Dates ➤ Architect/Engineer Name/Address ➤ Project Description ➤ Square Footage of Each Occupancy Group
<p>Identify all existing and proposed structures and ground-mounted equipment. Please note on the site plan if the existing structures were built with the benefit of a permit or were built prior to 1962. (AS-BUILT permits are required for structures that were not built with a permit after 1962 and do not qualify for an exemption per County Ordinance.)</p>	
<p>Location of all wells, water storage tanks, bodies of water, year round or seasonal watercourses, drainage ditches, NID ditches, agricultural/ irrigation lines and 100 year flood plains. Include distance from project to any well/water source closer than 100 ft. Water storage tanks used for fire prevention require a permit & Fire Dept. approval.</p>	
<p>Location of all utilities (above and underground sources & lines) including water, sewage, electrical and phone lines.</p>	
<p>Indicate location and layout of existing or proposed septic system. Including leach lines, septic and pump tanks, clean-outs, distribution system, layout and location of the 100% repair area, slope within the primary and repair area. If a M.U.S.D.A. has been designated and is shown on a recorded map, please include. Setback for a septic tank to any foundation is 5 ft and leach field to foundation is 8 ft.</p>	
<p>Indicate the approximate location and surfacing of all existing conforming and/or permitted driveways.</p>	
<p>Identify all easements (PG&E, telephone, water (NID), road, driveway, "No Access", etc.).</p>	
<p>Identify all building setbacks. Please show all setbacks along the front, rear, interior and exterior sides. If a building envelope has been designated and is shown on a recorded map, please include. Please refer to Sec. L-II 4.2.5 of the zoning ordinance for assistance in determining accurate building setbacks.</p>	
<p>Indicate distances from and uses of all structures, wells/septic (existing and proposed) that are close to building setbacks along the property lines.</p>	
<p>Characterization of slope and topography:</p> <ul style="list-style-type: none"> • The characterization of slope in the area of proposed work may be provided by the owner if the slope is less than 10% and a note is placed on the plans that the topography is depicted as per owner's representation. • Contour intervals should be at a two (2') foot minimum and extend 50' feet beyond the proposed area of construction. • If the slope in the area of construction exceeds 10% or if an engineered grading plan is required, provide a topographic survey prepared by a licensed Land Surveyor or Civil Engineer. If a professional survey is conducted, the surveyor or engineer must provide a wet stamp of certification on the site plan. 	
<p>Boundary Line Verification: Development nearer than twice the building setback to any property line shall have said property line flagged by a licensed Land Surveyor or Civil Engineer authorized to practice land surveying. Prior to foundation inspection, a Boundary Line Verification Form (or the like) must be completed and submitted to CDA Staff or inspector. <u>Clearly note this on the cover sheet of the plans.</u></p>	
<p>Percentage of coverage/square footage of all impervious surfaces including all structures, covered decks, paved driveways, concrete areas, swimming pools, etc.</p>	
<p>Location of propane tank (if applicable) indicating setbacks to structures and property lines. NOTE: 10 ft. minimum to structures and property lines, 5 ft. to septic tanks, 8 ft. to leach field (See CA Fire Code for more stringent setbacks depending on tank type/size). Aboveground tanks must meet minimum Building Setback requirements. All tanks above 4,000 ft elevation, or underground require a permit and Fire Dept. approval.</p>	
<p>Erosion Control – Temporary and Permanent (Please refer to the Erosion Control and Best Management Practices Handout)</p>	
<p>Identify all stand-alone retaining walls. Retaining walls over 4 ft in height from footing to top of wall OR support a surcharge require a permit and engineered calculations.</p>	
<p>Defensible space vegetation clearances. Shown and noted (30' radius and 100' radius) per PRC Sec. 4291-4299 & County Ordinance</p>	
<p>Location and nature of any known or suspected soil or geological hazard areas. (ie: mines, architectural sites, mineral resources, etc.)</p>	
<p>Indicate total amount and location of soil disturbance in square feet (include driveway, house pad, septic system and other clearing).</p>	
<p><u>Grading Only:</u> Grading that is not exempt from permit per County Ordinance L-V 13.3 requires a grading permit. See the handout regarding engineered grading plans to determine if you need engineering. Indicate extent of cuts and fills (i.e. top & toe cut/fill) and the limits of grading for all the proposed grading work including borrows and stockpile areas. An estimate of the quantities of cuts and fills, including quantities to be moved on and off site. If material is leaving the site, provide location. Retaining wall plans/calculations and culvert drainage calculations (if applicable)</p>	
<p><u>Grading Only:</u> Site-specific cross sections (two or more) of all existing and proposed graded areas and locations of maximum cut and fills.</p>	
<p><u>New Construction Only:</u> Accurate location of all soils pit testing for septic system done on site with numbering corresponding with Environmental Health Site Approval Report. (perk and mantel)</p>	
<p><u>New Construction Only:</u> Identify all notes from any Recorded Map/Supplemental information that may restrict the use of property (required setbacks, fire flow requirements, dedicated right-of-way, archaeological sites, heritage oak trees over 36" in diameter, wetland/riparian areas).</p>	
<p><u>New Construction Only:</u> Also include a copy of encroachment permits, indicate the driveway width, slope, surface and curve radius. A complete driveway profile is required for grades greater than 15%. Please show the parking and turnaround area. Identify all culverts and drainage ditches. Driveways in excess of 400 ft require turnouts and a Fire Dept. approved turnaround area.</p>	
<p><u>New Construction Only:</u> Approved Legal Lot (If no previous development has been approved) See the handout on what a Legal Lot is. If you need assistance on determining if the subject parcel has been legally created please meet with the Planning Dept. for clarification.</p>	
<p><u>New Construction Only:</u> CBC Chapter 7A Fire Clearance Requirements – 30' radius and 100' radius</p>	



COUNTY OF NEVADA COMMUNITY DEVELOPMENT AGENCY BUILDING DEPARTMENT

950 MAIDU AVENUE, SUITE 170, NEVADA CITY, CA 95959-8617
(530) 265-1222 FAX (530) 265-8794 www.mynevadacounty.com

SAMPLE SITE PLAN



Provide the following:

1. Minimum 11" x 17" size sheet(s). (Fill sheet with site plan; do not use edge of paper for property lines)
2. Show North arrow and include all streets and alleys.
3. Show all dimensions and locations for property lines and setbacks. (include lot size)
4. Show all buildings, carports, pools, walls, patio covers, fences, slopes, etc. (Label all existing structures/appurtenances "Existing")
5. Clearly show all grading/drainage away from structures to an approved drainage way.
6. Indicate the owners name, address, phone number, and Assessor's Parcel Number (APN).
7. Plans are to be completed in a workmanlike manner and must be legible.
8. Three (3) sets of site plans (minimum) are required for all building permits.
9. Indicate all easement locations (refer to your title report for this information)

Note: All Dimensions shown on this sample plan are for reference only. Your site plan must show the actual dimensions for the lot located at the address. Site plans are required for new structures, additions, some interior alterations, decks, patios, swimming pools, etc.



AFTER-THE-FACT PERMIT PROCESS

OVERVIEW

The after-the-fact permitting process will bring your project into compliance with the California Building Codes.

The Community Development Agency is committed to helping you with this process. This packet can help walk you through the process step by step to help alleviate some of the confusion.

Please do not hesitate to contact the Agency with any questions or concerns you may have.

The [after-the-fact permitting](http://nevadacountyca.gov/1675/after-the-fact-permit-process) roadmap (nevadacountyca.gov/1675/after-the-fact-permit-process) **has additional information organized for your use.**

Please note: It is not Nevada County's intent to displace anyone from housing. However, many unpermitted dwelling units and structures include life-safety issues. Some of these safety issues may include unknown wall and roof construction, unknown electrical and plumbing work, lack of smoke alarms and carbon monoxide detectors, unsafe window sizes for fire access and escape, and lack of proper heating and cooling. Additionally, it is not the County's place to provide legal and insurance advice, but you should consider the insurance and liability risks that arise from human occupancy of a building without the most basic safety improvements for residential occupancy. The County's primary responsibility is to protect the public. Therefore, it is important to have the safety of your tenants in mind, too.



AFTER-THE-FACT PERMIT PROCESS

Why get on the road to permitting?

Some homeowners don't think it's worth the time and money to go through the permit process. However, large risks come with owning a parcel with unpermitted structures or work. If something goes wrong, it could be costly. Please consider these costs and benefits.

▼ Risks of not permitting

Benefits of legalizing the work ▼

RISKS OF CODE ENFORCEMENT

RISK: The County may find out about the unpermitted work. A code case may be opened on the parcel and citations are costly and permit fees can be doubled. If the unpermitted work is a residence, the property owner may be forced to have the unit vacated, pay the tenant's relocation costs and/or reimburse them some portion of their rent.

BENEFIT: Legalizing the work will give the property owner peace of mind. Code-related penalties (doubling of permit fees, etc.) will not be assessed if the work is reported voluntarily before a Code Case is opened.

HIGHER PROPERTY VALUE

RISK: Buyers and lenders may be unsure how to evaluate a property with an unpermitted structure or work, which may diminish the appraised value.

BENEFIT: With proof of permits, the property will likely be appraised at its full value. Realtors will no longer have to deal with questions about the legality of the structures and prospective buyers will know exactly what they are buying.

ASSURANCE OF INSURANCE COVERAGE

RISK: If the unpermitted structure is damaged due to fire, flood or storm damage, insurance companies may deny a claim for repair and replacement.

BENEFIT: With permits, property owners can be open and honest with their insurance agent, ensure that it is insured, and get the best insurance price.

BETTER SAFETY & EMERGENCY RESPONSE

RISK: Unpermitted structures rarely meet the safety requirements of the current building code. In addition, an unpermitted residence may be difficult for local fire and emergency services to find during an emergency.

BENEFIT: Permitted structures built to building and housing codes will meet the highest standard for fire and storm protection, no matter when they were built.

RISK OF TENANT ACTION

RISK: If the unpermitted structure is rented, the tenant may take legal action against the property owner for renting an unsafe, unpermitted structure or dwelling. An unpermitted ADU, for instance, may strengthen a tenant's hand in a dispute with a landlord or entitle a tenant to relocation benefits if the unit needs major repairs.

BENEFIT: With permitted structures, property owners don't have to worry about being sued for renting an unpermitted building. Also, the tenants will have easier access to local financial assistance if they need help with the rent. This, in turn, makes it more likely the property owner will be paid if the tenant falls behind on rent.



AFTER-THE-FACT PERMIT PROCESS

ROAD TO PERMITTING

Step 1: Meet with CDA Department Staff

Community Development Agency lobby is open from 8:00 a.m.- 3:30 p.m. Monday-Friday and appointments are not necessary.

Step 2: Research Permit History

Understanding what structures have and have not been permitted is the first steps in after-the-fact permitting. In addition, you can complete a Public Records Request to get all CDA-related documents on file for your parcel. You can also use the MyNeighborhood Mapping system to find permit records.

Step 3: Establish the Date of Construction and Applicable Code Edition

The date of construction forms the basis for the review of your construction plans. Sources to determine the date of construction can be: Assessor's Office records, construction material receipts, aerial photography, appliance serial numbers and photographs.

Step 4: Estimate Construction Costs

The decision to move forward with after-the-fact permitting is largely driven by how much it will cost. Grading a fire-safe driveway or upgrading septic system tanks and leach lines can be costly. Permit and impact fees must also be considered.

Step 5: Develop Plans and Construction Documents

A complete set of construction plans includes many important parts.

Step 6: Apply for a Permit

You can apply for a permit online or in person at the CDA lobby. A complete set of construction documents is required to apply for a permit.

Step 7: Track the Application Process Online

One of the important aspects of the application process is that you are responsible for periodically checking on the status of your application.

Step 8: Plan Check

The first is a scan of the foundation to confirm that the required reinforcement is present. Next, certification that the building is structurally sound is required by a licensed engineer. **What to expect:** Letters from licensed electrical, plumbing and mechanical contractors certifying that the building meets minimum code standards may be required depending on the scope of work. In place of the letters, components of the building can be exposed for inspection purposes.

Step 9: Inspections

The inspection procedures are detailed in the Inspection Procedures for As-Built Structures handout.



AFTER-THE-FACT PERMIT PROCESS

WORKSHEET

General: *Applicant to complete this section*

Owner's Name: _____

Situs Address: _____

APN: _____

What is the date of construction/conversion? _____

Have you submitted a Public Records Request? _____

Building description: _____

Building square footage:

Conditioned: _____

Unconditioned _____

Covered decks: _____

Uncovered decks: _____

AFTER-THE-FACT PERMIT PROCESS



NEVADA COUNTY
CALIFORNIA

Building Department

buildingdept@nevadacountyca.gov 530-265-1222 ext 1

Building Department Representative's Name: _____

Date and time of meeting: _____

Does my parcel have any permitting history? _____

What is the applicable code edition for my project? _____

What is the building occupancy and use? _____

What is my ground snow load? _____

Do the wildland urban interface requirements apply? _____

Are fire sprinklers required? _____

Do I need a building permit? _____

If I need a building permit, what fees will I be required to pay? _____

What construction documents do I need for permit submittal purposes? _____

How long will it take to get my permit(s)? _____

What other information do I need to know about my project?



AFTER-THE-FACT PERMIT PROCESS

Planning Department

planning@nevadacountyca.gov 530-265-1222 ext 2

Planner's Name: _____

Date and time of meeting: _____

Does my parcel have any permitting history? _____

Is the Parcel Legal and have access? _____

What's my zoning? _____

What does impervious surface mean? _____

Do I have any protected resources or no building areas on the property? _____

What are my setbacks? _____

What do I do if my structure is in the setback? _____

What are allowable uses and structures in my zoning district? _____

I am looking at building a residence or accessory dwelling unit. Do I need a permitted driveway? _____

Do I need a planning permit? _____

If I need a permit, what fees will I be required to pay? _____

How long will it take to get my permit(s)? _____

What other information do I need to know about my project?



AFTER-THE-FACT PERMIT PROCESS

Environmental Health

Env.health@nevadacountyca.gov 530-265-1222 ext 3

EH Representative's Name: _____

Date and time of meeting: _____

Is my septic system permitted? _____

How many bedrooms is my septic capacity? _____

What year was my septic system installed? _____

Do I need an additional septic tank? _____

Is a septic modification permit required? _____

Is my well permitted? _____

What is the minimum well output required for my parcel? _____

Do I need a well yield report within the last year? _____

Do I need an Environmental Health permit? _____

If I need a permit, what fees will I be required to pay? _____

What documents do I need to submit for the permit? _____

How long will it take to get my permit? _____

What other information do I need to know about my project?



AFTER-THE-FACT

Public Works

Public.works@nevadacountyca.gov 530-265-1222 ext 5

Public Works Representative's Name: _____

Date and time of meeting: _____

Is an encroachment permit required? _____

Is a sewer connection required? _____

What fees will I be required to pay? _____

How long will it take to get my permit? _____

What other information do I need to know about my project?



COMMUNITY DEVELOPMENT AGENCY BUILDING DEPARTMENT

P O Box 599002, 950 Maidu Ave Ste 170, Nevada City, CA 95959
Phone: (530) 265-1222 Email: buildingdept@nevadacountyca.gov
Web: www.nevadacountyca.gov

BUILDING PERMIT APPLICATION HANDBOOK

CUSTOMER SERVICE CENTER COUNTER OPEN

8:00am to 5:00pm, Monday-Friday

New applications are accepted between 8:00am to 3:30pm

NEVADA COUNTY BUILDING CODES

2025 California Residential Code (2024 IRC)
2025 California Green Building Standards Code
2025 California Building Code (2024 IBC)
2025 California Plumbing Code (2024 UPC)
2025 California Mechanical Code (2024 UMC)
2025 California Electrical Code (2023 NEC)
Nevada County Land Use and Development Code
(Title 14)

2025 California Energy Code
2021 International Property Maintenance Code
2025 California Fire Code (2024 IFC)
2025 California Existing Building Code
2025 California Historical Building Code
2021 International Swimming Pool & Spa
Code

Building permits are required for all construction not specifically exempted (see exempted work list listed on page 4). This includes houses, garages, most decks, commercial projects, installation of propane appliances, grading, projects requiring framing, electrical, mechanical, plumbing, etc. Each item must be listed on the permit; work not listed will not be covered by the permit. Building permits are active for one (1) year from permit issuance and are eligible for one (1) year extension, based upon justifiable cause. Permits are extended for one (1) year when there has been construction progress with an approved building inspection, up to final inspection.

Some permits will require approval from other departments (County Planning, Environmental Health, Fire, Nevada City Planning, etc.) prior to submittal or issuance (i.e. cell towers, second dwelling units and commercial projects). Please consult with the Nevada County Community Development Agency (CDA) (530) 265-1222 before submittal of building permit application.

Permits are issued to an owner-builder, contractor, and an agent with a letter of authorization from the owner, an agent with an original power of attorney, or a lessee with a copy of a signed lease.

Building permit fees do not include all fees. **Other fees may include:**

- Fire mitigation fees
- School mitigation fees - **living/accessible area only**
- Park & Recreation fees - **new residence (including second dwellings)**
- Road fees - **new residence (including second dwellings)**

PLAN CHECK:

- Plan check fees are due at the time of application
- Plans are checked in order received

- It is the responsibility of the applicant to track the status of the permit.

Permit status may be checked on our [permitting portal](#) and following the guidelines in [this handout](#).

FOR NEW RESIDENCE:

- 3 sets of building plans (structural) including 3 site plans
- 2 sets of wet signed energy calculations (Title 24) as a page of the plans
- 2 sets of wet stamped/signed truss calculations- (if manufactured trusses are used)
- 2 sets of wet stamped/signed engineered calculations (if required)
- Site Plan Checklist must be completed and signed at the time of submittal
- A residential permit will not be issued without evidence of septic and well permits (if applicable)
- **Keep in mind that we also accept Electronic Project Plan Submittals. Visit our website at <https://permits.nevadacountyca.gov/CitizenAccess/Default.aspx> for complete information.**

FOR RESIDENTIAL ADDITIONS, REMODELS, DECKS OR ACCESSORY STRUCTURES (i.e., barn, garage or workshop):

- 3 sets of building plans (structural) including 3 site plans
- 2 sets of wet or digitally signed energy calculations (if applicable) as a page of the plans
- 2 sets of wet or digitally stamped/signed truss calculations (if manufactured trusses are used)
- 2 sets of wet or digitally stamped/signed engineered calculations (if required)
- Site Plan checklist must be completed and signed at the time of submittal

REQUIREMENTS FOR PLANS TO BE ACCEPTED:

- Shall be drawn to scale (must be 1"=10', 1"=20', 1"=30', 1"=40', 1"=50', 1"=60' - scales for site plan only) and fully dimensioned
- Shall be dark lined on light background, clear and legible (no graph lines)
- Shall be no smaller than **11" x 17"** (larger recommended)
- Detailed site plan (see [Comprehensive Site Plan Development Checklist](#))
- Detailed foundation plan: (Scale ¼" = 1' minimum) Show all wall and footing outlines, access doors, piers, girders, floor joists and dimensions.
- Floor plan(s) showing **use** of each/every area: (Scale ¼" = 1' minimum) One (1) plan for each story. If building has a crawl space, provide separate foundation plan. Direction, size and spacing of all floor and ceiling framing members, columns and piers. Location of all partitions. Indicate door and window sizes and direction of swing. Location and size of all permanently installed equipment, such as kitchen cabinets, closets, storage, plumbing fixtures, water heater, heating system, etc. Location of all electrical equipment, including main service panel, switches, outlets, fixtures, etc.
- Four (4) exterior elevations: (Scale 1/8" = 1' minimum) Show front, rear, and both side elevations (use directions N, S, E, W). Wall finishes where more than one type is used. Depth of all footings, if stepped type. Finish floor line. Finish grade lines at building.
- Details and cross sections: (Scale 3/8" = 1' minimum) Section through exterior wall: showing all details of construction from footings to highest point of roof. Where more than one type of wall or roof material is used, show each type. Section through all stairs, landing, and stairwells, including headroom clearances. Where trusses are used, provide stress diagram and gusset details. Section through fireplace.
- Two (2) copies of wet or digitally signed (Title 24) energy calculations as a page of the plans.
- Indicate square footage of **each** area and show the occupancy and construction type(s).
- List total square footage of **each** occupancy area on Title sheet (residence, garage, deck, etc.) ☒
- Electrical plan (can be shown on the floor plan).
- Two (2) copies of wet or digitally stamped/signed engineered truss calculations.

Note: If building is located on a lakefront lot, or in an extreme snow load area, the site plan must be stamped and signed (wet signature) by an engineer. Show all existing and proposed structures, septic, leach field, well, driveway, easements, etc. on each site plan.

PERMIT ISSUANCE:

- Inspection fees are due at permit issuance
- Plan check approval
- Site plan approval
- Environmental Health approval (septic and water)
- School mitigation fees paid-receipt
- Fire mitigation fees paid-receipt
- Park and Recreation fees paid (if applicable)
- Road fees paid (if applicable)

Construction may begin

PERMIT FINAL:

- Required department signatures (Planning, Fire, Environmental Health, etc.) completed on permit card
- Final inspection must be made prior to permit expiration
- All construction must be completed per approved plans and minimum code requirements

GENERAL INFORMATION:

- It is recommended that you keep your approved building plans for future additions or alterations.
- All pages of engineered plans, calculations, specifications, details, etc., shall be signed (wet signature) by the engineer or architect and shall show an up-to-date California stamp of his/her seal or his/her registration number.
- Plan Review and Permit fees quoted over the phone or at the counter are **estimated** and **approximate**.
- Fee estimates for the School District and Fire Districts must be obtained from those agencies.
- All other agency approvals and signatures are required prior to final occupancy approval.
- Please follow these instructions when preparing plans for a permit. This is necessary in order to provide uniformity in filing and future reference to plan documents, and to provide a more effective and efficient building inspection service. Deviations may be accepted for unusual circumstances.

Licensed Architect or Licensed Engineer:

If construction deviates from conventional light frame construction requirements for wood frame construction, plans must be prepared by a licensed architect or registered engineer. The documents prepared shall bear the stamp and original signature of the licensee who is responsible for their preparation.

ENGINEERING:

Engineering is required on all steel frame, concrete buildings and concrete or concrete block walls over four (4) feet high (measured from the bottom of the footing to the top of the wall). Front page of engineering shall contain all design criteria. All call outs shall be detailed on the plans (beams, hold-downs, connections, retaining walls, shear panels, etc.). All engineering submitted requires the stamp and wet signature of the California licensed architect or registered engineer on all pages of the plans.

WHO MAY DRAW PLANS:

Individuals (owners) may prepare plans for the following:

- Single family dwelling of light wood frame conventional construction, not more than two stories and basement in height.

- Multiple dwellings containing no more than four (4) dwellings, of light wood frame conventional construction not more than two (2) stories and basement in height.
- Garages, patio covers, decks or other structures appurtenant to buildings described above.
- Agricultural buildings of conventional light wood frame construction.

DRIVEWAY/GRADING:

See [“Driveway Construction Standards” handout](#).

ENCROACHMENT PERMIT:

An encroachment permit is required when the driveway encroaches onto a county-maintained road. Contact the Department of Public Works for this permit and bring the receipt to the building department prior to issuance.

SEPTIC PERMIT AND WATER SUPPLY:

Proof of issued septic permit and water supply from the Environment Health Department is required prior to issuance of a new residence permit. You must apply for Environmental Health approval through that department. Concurrent permit applications are recommended.

ADDITIONS AND ALTERATIONS:

Building plans and site plans require the same information as a new building.

SNOWLOAD:

Nevada County is a declared snow area. Snow loads vary throughout the county. To obtain a snow load, please supply the building department with your Assessor’s Parcel Number (APN) or go to <https://experience.arcgis.com/experience/45d30af79b1e45f792844b897a45131a>. All snow loads over 70-psf ground snow load will require engineering design, signature and approval.

EXEMPTED WORK: Section 14.02.050, Land Use and Development Code, Work Exempt from a Permit **A Building Permit shall not be required for the following:**

- One-story detached accessory structures without electrical, mechanical or plumbing not intended for habitation provided the projected floor area does not exceed 200 square feet, with a maximum of 2 (two) foot eaves. One structure per parcel. Must meet setbacks.
- Residential playground equipment
- Masonry walls, which are not over 4 feet in height measured from the bottom of the footing to the top of the wall, unless supporting a surcharge.
- Detached trellis or arbor **accessory** (snow load not required) to single family residential property provided the projected roof area does not exceed 200 square feet.
- For other exemptions see the 2022 California Residential Code and/or Building Department staff member.

Site plan review and a letter of exemption issued by the Building & Planning Departments required for the following: Agriculture structures, not intended for habitation, **accessory** to residential property in zoning districts “AG”, “AE”, “RA”, “FR”, and “TPZ”, that meet all the following conditions:

- Not a place of employment where agricultural products are processed, treated, or packaged, nor shall it be a place used by the public.
- Of simple construction using conventional construction methods or specifically approved manufactured structures (concrete, steel frame, masonry and other technologies that generally require engineering are not exempt).

- Structures must meet the following limits:
 - **POLE BARNs:** Limited in size to **1,000** square feet maximum. One pole barn per parcel or per 20 acres. Open from ground to eaves on all sides. Distance to other structures must be equal to its height, minimum of 20 feet. Minimum of 100 feet from property line.
 - **SHADE STRUCTURES:** Cover limited to woven shade fabric.
 - **ANIMAL HUSBANDRY BARNs:** Limited in size to **400** square feet maximum. One structure per parcel or per 5 acres. Single wall construction, dirt or gravel floor. Minimum 10 foot distance from other structures, 40 feet from property line.
 - **PUMP HOUSEs:** Limited in size to **100** square feet. Meet setbacks.
 - **GREENHOUSEs:** Limited in size to **400** square feet. One structure per parcel or per 10 acres. Wood or PVC construction with plastic or fiberglass cover; dirt or gravel floor. Meet setbacks.
 - **STORAGE CONTAINERs:** Limited in size to 320sqft. One container per parcel or 5 acres. Container is used for light nonhazardous agricultural storage and shall not be structurally modified or have any electrical, mechanical or plumbing utilities.
 - **HIGH/LOW TUNNEL GREENHOUSEs MEETING THE FOLLOWING CRITERION:**
 - ***This exemption allows for employees if structure is used for cultivation only***
 - Easily moveable
 - Constructed of metal or plastic tubing and covered with agricultural cloth, plastic film, or shade screening.
 - Exits are in compliance with the most recently adopted editions of the California Building and Fire Codes.
 - Structures meet vegetation management clearance requirements in accordance with the most recently adopted edition of the California Fire Code and Public Resource Code Section 4291.
 - Setbacks and height limitations in accordance with Chapter II of the Nevada County Land Use and Development Code.
 - i) Parcels 3 acres or greater in size shall meet the following size and setback standards:
 - 3,600sqft per acre maximum
 - 35ft in width maximum
 - One story
 - 5 feet separation between structures minimum
 - Clustering of structures is allowed
 - ii) Parcels less than 3 acres in size shall meet the following size and setback standards:
 - 3,600sqft maximum
 - 35ft in width maximum
 - One story
 - 5ft separation between structures minimum
 - All structures require site plan review and approval and letter of exemption issued by the Building Official and Planning Director.

PROPERTY TAXES: Construction and some miscellaneous improvements will result in a supplemental tax bill

for the change in value for the fiscal year in which the improvement is completed. Speculation builders should request “claim for Builders Exemption.” Questions pertaining to value may be directed to the Assessor’s Office at (530) 265-1232.

OWNER/BUILDERS: May perform their own work without workmen’s compensation insurance; they must perform the work themselves or with their immediate family (no wages or contracts are allowed), or they may also contract with licensed contractors.

With workmen’s compensation insurance (proof of insurance required), an owner/builder may hire by the hour, contract with licensed contractors, or contract with unlicensed persons for up to \$500.00. Violation of this law may result in the revoking of a permit and substantial penalties.

OWNER/BUILDER AGENTS: May be required to have a letter specifically authorizing permit application, and a completed “owner-builder verification” form

SMOKE/CARBON MONOXIDE DETECTORS: In new construction, smoke and carbon monoxide detectors are required as indicated in 2025 California Residential Code.

In residential additions, alterations or repairs (for which a permit is required) smoke detectors are required to be in sleeping rooms, halls and/or stairways serving sleeping rooms and on every level. Carbon monoxide detectors are required in halls/room serving sleeping rooms and on over level. (Carbon monoxide detectors are not required if you do not have any gas appliances or an attached garage.)

JOB SITE SANITATION: Both County Ordinance and the California Health and Safety Code requires that approved water closets be provided at all construction sites, for obvious reasons. A minimum of one (1) water closet is required for every 20 employees.

The water closet will normally be a patented chemical-type toilet with routine servicing by a septic pumper licensed to operate within Nevada County. It must be located within reasonable distance to all persons at the job site. No permit is required for this type of toilet facility.

The building inspector will check for chemical toilets during job site inspections. Lack of compliance will result in referral to the Environmental Health Department for follow-up enforcement action. This includes monetary penalties beginning at \$100 per day per violation plus reimbursement for staff time utilized in the abatement of the violation at the department hourly rate approved by the Nevada County Board of Supervisors.

Address & Street Names: All projects for which a permit has been issued are required to have a street address posted. This address must be visible from the street and also at the building if there are multiple buildings onsite. The address numerals must be a minimum 4” in height with a minimum ½” stroke width.

The address must be posted prior to scheduling for an inspection. You will be charged a re-inspection fee in the event the inspector cannot find your project location due to an address not being posted.

Inspection Requests:

Inspections are performed Monday-Friday

Truckee area inspections are scheduled on TUESDAYS AND THURSDAYS ONLY

Inspections are required to be scheduled online at

<https://permits.nevadacountyca.gov/citizenaccess/Cap/CapHome.aspx?module=Building>

Inspections can be scheduled 24/7. If you would like a next day inspection, the online request shall be completed by 12:00am the day before your inspection request. Best practice is to schedule inspections several days in advance to ensure your inspection date as some days fill up quickly. Inspections can be scheduled as much as 15 days in advance. Make sure to leave gate codes or any special instructions with your appointment request so the inspector can do their best to accommodate your specific need.

Please call the Building Department at (530) 265-1222 to cancel an inspection before 8:30am. A reinspection fee will be charged if the project is not ready for a scheduled inspection.

Only permits in good standing will receive inspections; re-inspection fees must be paid prior to scheduling your next inspection.

CHANGES IN WORK: Plans must be resubmitted to the Building Department for approval. Some changes may require a new permit. Minor changes may be field revised/approved. A fee based on our current plan review hourly rate is due for each change. Two (2) sets of revised plans shall be submitted to the Building Department for review and approved prior to inspection of revised work OR if plans were submitted digitally, changes can be uploaded to the portal along with an explanation of the revisions or changes that were made.

REFUND OF FEES: Refunds will be made on basic plan check or inspection fees. Administration and archiving fees are non-refundable. Plan check fees will be refunded if examination of plans has not begun. Inspection fees will be refunded on projects if construction has not begun and if no inspections have been made. See our refund policy on our refund request form for complete refund information. "As-Built" building permits may not be voided and fees will not be refunded.

Please call or visit the Building Department for further assistance. Informational handouts, applications, etc. are available at the Building Department or on our website at

<https://www.nevadacountyca.gov/1114/Building-Department>

Be sure that if you are building a spec house or house for sale that you complete the "Claim for Builder's Exemption Form" and file the form with the Assessor's office within 30 days from the start of construction.



COUNTY OF NEVADA
COMMUNITY DEVELOPMENT AGENCY
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(530) 265-1222 FAX (530) 265-9851 <http://nevadacounty.com>

PROPERTY OWNER'S PACKAGE

Disclosures & Forms for Owner-Builders Applying for Construction Permits

IMPORTANT! NOTICE TO PROPERTY OWNER

Dear Property Owner:

An application for a building permit has been submitted in your name listing yourself as the builder of the property improvements specified at _____.

We are providing you with an Owner-Builder Acknowledgment and Information Verification Form to make you aware of your responsibilities and possible risk you may incur by having this permit issued in your name as the Owner-Builder. **We will not issue a building permit until you have read, initialed your understanding of each provision, signed, and returned this form to us at our official address indicated.** An agent of the owner cannot execute this notice unless you, the property owner, obtain the prior approval of the permitting authority.

OWNER'S ACKNOWLEDGMENT AND VERIFICATION OF INFORMATION

DIRECTIONS: Read and initial each statement below to signify you understand or verify this information.

____ 1. I understand a frequent practice of unlicensed persons is to have the property owner obtain an "Owner-Builder" building permit that erroneously implies that the property owner is providing his or her own labor and material personally. I, as an Owner-Builder, may be held liable and subject to serious financial risk for any injuries sustained by an unlicensed person and his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an Owner-Builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

____ 2. I understand building permits are not required to be signed by property owners unless they are *responsible* for the construction and are not hiring a licensed Contractor to assume this responsibility.

____ 3. I understand as an "Owner-Builder" I am the responsible party of record on the permit. I understand that I may protect myself from potential financial risk by hiring a licensed Contractor and having the permit filed in his or her name instead of my own.

____ 4. I understand Contractors are required by law to be licensed and bonded in California and to list their license numbers on permits and contracts.

____ 5. I understand if I employ or otherwise engage any persons, other than California licensed Contractors, and the total value of my construction is at least five hundred dollars (\$500), including labor and materials, I may be considered an "employer" under state and federal law.

____ 6. I understand if I am considered an "employer" under state and federal law, I must register with the state and federal government, withhold payroll taxes, provide workers' compensation disability insurance, and contribute to unemployment compensation for each "employee." I also understand my failure to abide by these laws may subject me to serious financial risk.

____ 7. I understand under California Contractors' State License Law, an Owner-Builder who builds single-family residential structures cannot legally build them with the intent to offer them for sale, unless *all* work is performed

by licensed subcontractors and the number of structures does not exceed four within any calendar year, or all of the work is performed under contract with a licensed general building Contractor.

___ 8. I understand as an Owner-Builder if I sell the property for which this permit is issued, I may be held liable for any financial or personal injuries sustained by any subsequent owner(s) that result from any latent construction defects in the workmanship or materials.

___ 9. I understand I may obtain more information regarding my obligations as an "employer" from the Internal Revenue Service, the United States Small Business Administration, the California Department of Benefit Payments, and the California Division of Industrial Accidents. I also understand I may contact the California Contractors' State License Board (CSLB) at 1-800-321-CSLB (2752) or www.cslb.ca.gov for more information about licensed contractors.

___ 10. I am aware of and consent to an Owner-Builder building permit applied for in my name, and understand that I am the party legally and financially responsible for proposed construction activity at the following address:

___ 11. I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern Owner-Builders as well as employers.

___ 12. I agree to notify the issuer of this form immediately of any additions, deletions, or changes to any of the information I have provided on this form. Licensed contractors are regulated by laws designed to protect the public. If you contract with someone who does not have a license, the Contractors' State License Board may be unable to assist you with any financial loss you may sustain as a result of a complaint. Your only remedy against unlicensed Contractors may be in civil court. It is also important for you to understand that if an unlicensed Contractor or employee of that individual or firm is injured while working on your property, you may be held liable for damages. If you obtain a permit as Owner-Builder and wish to hire Contractors, you will be responsible for verifying whether or not those Contractors are properly licensed and the status of their workers' compensation insurance coverage.

Before a building permit can be issued, this form must be completed and signed by the property owner and returned to the agency responsible for issuing the permit. Note: A copy of the property owner's driver's license, form notarization, or other verification acceptable to the agency is required to be presented when the permit is issued to verify the property owner's signature.

Signature of property owner _____ Date: _____

Note: The following Authorization Form is required to be completed by the property owner only when designating an agent of the property owner to apply for a construction permit for the Owner-Builder.

AUTHORIZATION OF AGENT TO ACT ON PROPERTY OWNER'S BEHALF

Excluding the Notice to Property Owner, the execution of which I understand is my personal responsibility, I hereby authorize the following person(s) to act as my agent(s) to apply for, sign, and file the documents necessary to obtain an Owner-Builder Permit for my project.

Scope of Construction Project (or Description of Work): _____

Project Location or Address: _____

Name of Authorized Agent: _____ Tel No _____

Address of Authorized Agent: _____

I declare under penalty of perjury that I am the property owner for the address listed above and I personally filled out the above information and certify its accuracy. *Note: A copy of the owner's driver's license, form notarization, or other verification acceptable to the agency is required to be presented when the permit is issued to verify the property owner's signature.*

Property Owner's Signature: _____ Date: _____



**COUNTY OF NEVADA
COMMUNITY DEVELOPMENT AGENCY
BUILDING DEPARTMENT**

950 MAIDU AVENUE, SUITE 170, NEVADA CITY, CA 95959-8617
(530) 265-1222 FAX (530) 265-8794 www.mynevadacounty.com

WHO CAN PREPARE PLANS?

Professional Services from a California Licensed Profession is generally required and may include design, analysis, and evaluation as well as consultation and technical advice for the following:

Foundations	Bridges
Grading Plans	Flood Level Studies
Commercial Buildings	Complex Electrical Systems
Seismic Strengthening for (retrofit) Projects	Dams
Complex Houses or Wooden Buildings	Water Supply Systems
Drainage and Sewage Disposal Systems	Improvements for Subdivisions (Infrastructure)
Masonry Walls and Retaining Walls	Structural Beams and Trusses

California law allows persons not licensed as architects, or registered as engineers, to design certain types of buildings or parts of buildings. California Business and Professions Code sections 5537 and 6737.1.

Generally, an unlicensed person can design:

- single-family dwellings of conventional wood frame construction not more than two stories and basement in height;
- multiple dwellings containing no more than four dwelling units of conventional wood frame construction, not more than two stories and basement in height, and not more than four dwelling units per lot;
- garages or other structures added to single-family dwellings of conventional wood frame construction not more than two stories and basement in height;
- agricultural and ranch buildings of conventional wood frame construction;
- nonstructural storefronts, interior alterations or additions, fixtures, cabinetwork, furniture, or other appliances or equipment, including nonstructural work necessary to install them; and
- nonstructural building alterations or additions necessary for the installation of storefronts, fixtures, cabinetwork, furniture, appliances, or equipment.

Provisions for conventional wood frame construction are contained in Chapter 23 of the California Building Code.

The expertise of a professional engineer or architect may be beneficial to your project even if not required by state law. Helpful information is available at:

California Architects Board: <http://www.cab.ca.gov/default.htm>

California's Board for Professional Engineers and Land Surveyors: <http://www.dca.ca.gov/pels/>



**COMMUNITY DEVELOPMENT AGENCY
BUILDING DEPARTMENT**

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Web: nevadacountyca.gov/1114

Inspection Procedures for AS-BUILT Structures

This department has received an increasing number of building permit applications for structures which have already been constructed. The permits issued for such structures are based upon approved as-built plans. The Inspector/Plans Examiner signing off as-built plans is being asked to verify that the structure has been constructed in accordance with the approved plans. However, the Inspector has not been able to observe the structure during the various stages of construction. The procedures to be followed when inspection of such structures is performed are described below.

Responsibilities of the Inspector/Plans Examiner

1. Verify that the foundation is constructed correctly, including:
 - Size of foundation
 - Depth below finished grade
 - Amount and placement of reinforcing steel
 - Other factors when specified in the approved plans
2. Verify the attachment of the structure to the foundation, including:
 - Anchor bolts
 - Hold-downs
 - Other anchoring devices or systems as specified in the approved plans
3. Verify the structural integrity of the structure, including:
 - Cripple walls
 - Shear wall construction and nailing
 - Connections of structural elements
 - Other structural elements as specified in the approved plans
4. Verify that the electrical system is installed according to the approved plans and the California Building Standard Codes.
5. Verify that the plumbing systems are installed according to the approved plans and the California Building Standard Codes.
6. Verify that the mechanical systems are installed according to the approved plans and the California Building Standard Codes.
7. Verify that the California Energy Efficiency Standards have been followed according to the approved plans and the California Building Standard Codes.

8. Verify that the California Accessibility Standards have been followed according to the approved plans and the California Building Standard Codes. (if applicable)

Responsibilities of the Permit Holder

NOTE: As- built structures pose many unique, site-specific inspection problems. The Inspector/ Plans Examiner may permit modifications to the requirements listed below, or may require additional testing and verification as necessary. At the *Pre-Inspection*, the Building Inspector will indicate which of the items below must be done. *Email: buildingdept@nevadacountyca.gov to schedule your Pre-Inspection before doing any work.*

1. Expose a portion of the foundation so that the size and depth can be determined.
2. Provide written verification from a testing agency qualified to perform such analysis that the reinforcing steel has been installed according to the approved plans. Ultrasonic, non-destructive testing is typically used for this testing.
3. Make the means of attachment of the structure to the foundation accessible for inspection when the means of attachment are visible in a crawl space, an access opening must be within 20 feet of the means of attachment. In slab construction, the wall coverings must be removed to show the means of attachment.
4. Provide written verification by an engineer licensed by the State of California that the building is structurally sound.
5. Make the components of the electrical system visible by removing cover plates from Receptacles, fixtures, subpanels, and services and pulling receptacles and switches out of the boxes and as otherwise required by the Inspector.
6. Provide written verification by an electrical contractor licensed by the State of California that the electrical system meets the California Building Standard Codes.
7. Make the components of the plumbing system visible by removing cover plates, access panels and as otherwise required by the Inspector.
8. Provide written verification by a plumbing contractor licensed by the State of California that the plumbing system meets the California Building Standard Codes.
9. Make the components of the mechanical system visible by removing cover plates, access panels. Provide a gas pressure test on all new gas lines.
10. Provide written verification by a mechanical contractor licensed by the State of California.

I agree to comply with these responsibilities, and any additional requirements set forth by the building department.

Permit Holder Name: _____ Date: _____

Permit Holder Signature: _____



**COUNTY OF NEVADA
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(530) 265-1222 FAX (530) 265-8794 www.mynevadacounty.com

**NEVADA COUNTY
BUILDING DEPARTMENT POLICY**

Subject:	As-Built Construction for R and U Occupancies	Policy #:	BD-CSC-07-006
Original Policy:	November 1, 2005	Last Revised:	March 31, 2015

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 2. Policy
 3. Definitions
 4. Procedures
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 6. Plan Review Requirements
 7. Inspection Requirements
 8. Final Approval
 9. Policy Interpretation

1. Purpose:

The purpose of this policy is to ensure Department consistency regarding “As-Built” construction for R and U occupancies.

2. Policy:

It is the policy of the Building Department to protect and assist the community during the construction and development of property in an effort to achieve an acceptable living environment for the citizens of the county. It is also our policy to ensure that property is developed and maintained in a safe manner, by promoting excellence in design and building standards. Through wisdom the Building Department is built, and by understanding it is established.

3. Definition

As-built construction is defined by the Building Department as construction, addition and/or alteration to/of a structure or building prior to obtaining permits and/or the benefit of inspections.

4. Application Procedures:

To legalize an unpermitted residential building or structure, the following information is required at time of building permit submittal:

- A completed building permit application and plan submittal checklist
- A site plan
- As-built construction plans
- Structural calculations, truss calculations and other structural analysis if structure does meet conventional framing requirements as shown in the California Building and Residential Codes
- Pay applicable Building Department fees

- Pay other applicable agency fees

5. Plan Submittal Requirements:

- Submittal Documentation:
 - The applicant is required to submit three (3) site plans and complete as-built construction/grading plans that illustrate the construction completed and any required building alterations. Plans shall be ¼ inch scale with a minimum plan paper size of 11” X 17”.
- Site Plan:
 - Indicates the location of the building or structure in relationship to property lines, septic systems, propane tanks and other structures. If the property is sloped, topographical lines are required.
- Title Sheet:
 - Contains information on the existing building or structure, such as scope of work, occupancy group, type of construction, square footage of building or structure, etc
- Elevation Plans:
 - Indicates all architectural features (windows, doors, stairs, chimney, vents, etc.) and their elevations from grade, roof slopes, roof material and exterior finish materials.
- Foundation Plans:
 - Indicates the type, depth and width of the foundation, anchor bolt/hold-down locations, concrete/rebar strength, rebar locations/spacing, slab thickness/underlayment, etc.
- Roof Plan:
 - Indicates the type of roof covering, roof material/framing, structural connections, sheathing type/fastener spacing, truss type/spacing, etc.
- Floor Plan:
 - Indicates the locations/use of rooms, closets, bathrooms and their sizes. Location of appliances, location of electrical plugs, switches, equipment and electrical panels.
- Floor Framing Plan:
 - Indicates framing member sizes and locations, connections, foundation cripple wall framing, etc.
- Two (2) sets of wet signed and/or registered Title-24 Energy calculations:
 - Required for new construction, addition or alteration to conditioned space.
- Two (2) sets of wet stamped/signed structural calculations:
 - Required when the building or structure is not built according to the provisions of the California Building and Residential Code conventional construction requirements.
- Two (2) sets of wet stamped/signed truss calculations:
 - Required when pre-manufactured roof and/or floor trusses are used for construction.

6. Plan Review Requirements:

The plans examiner shall review the plans and calculations based under the model code year the building or structure was built. It is the applicant’s responsibility to provide proof of the date of construction with any applicable records, receipts, assessor data or other approved documentation. If no data is available, the Director of Building shall make the determination. The plans examiner shall use the Residential Plan Review Checklist when reviewing the plans. The As-Built Inspection Procedures Handout (Attachment A) shall be attached to each as-built construction plan set prior to permit issuance. All sanitation and fire/life safety code requirements shall be met regardless of the date of construction such as (but not limited to):

- Ground-fault circuit interrupter receptacle requirements
- Arc-fault circuit interrupter requirements
- Smoke/carbon monoxide alarms
- Bedroom egress requirements
- Electrical panel grounding and bonding requirements

- Plumbing drainage, waste and venting requirements
- Habitable room heating requirements

7. **Inspection Requirements:**

After a permit is issued, the Building Inspector shall inspect the building or structure. The Building Inspector shall inspect the building or structure under the model code year the building or structure was built as written on the approved set of plans and reviewed by the plans examiner.

- The Building Inspector shall use the approved set of plans with guidance from the As-Built Inspection Procedures Handout (Attachment A) that is attached to the project plans.
 - The applicant shall schedule an initial site inspection prior to any work being commenced so the inspector can view the current status of the project, communicate to the applicant, owner and/or contractor which areas need to be exposed (walls, foundations, exterior wall covering, utilities, etc), view any foundation analysis/ultrasonic testing reports, structural evaluation report(s), etc. The owner and/or applicant shall be responsible for the exposing of said wall and/or foundation areas.
 - The following list is used for reference purposes only, and is not all-inclusive. The Building Inspector may request additional inspections because of unusual construction and/or construction methods.
- **Building Inspection Components:**
 - Wall framing, stud size and spacing
 - Anchor bolt size and placement
 - Insulation R-value (thickness of the insulation)
 - Under-floor framing size and material
 - Under-floor ventilation
 - Attic ventilation
 - Light and ventilation of windows
 - Window egress from bedrooms
 - Ceiling joist size and location
 - Shear wall locations
 - Framed connections
 - Foundation verification (type, width, depth and reinforcement)
 - **Plumbing Inspection Components:**
 - Water, waste, and drain piping materials and installations
 - Gas piping sizing and material
 - Water heater earthquake strapping
 - Propane tank location and piping
 - Backflow prevention devices
 - Appliance venting
 - Air gap for dishwasher
 - **Electrical Inspection Components:**
 - Service panel size and installation
 - Sub panel size and installation
 - Ground fault circuit interrupters (GFCI) requirements in kitchen, garages, bathrooms and exterior
 - Arc-fault circuit interrupters (AFCI) for required circuits in habitable spaces
 - Receptacles are grounded correctly

- Kitchen has two small appliance branch circuits
 - Bathrooms and laundry rooms have one small appliance branch circuit
 - Smoke alarms installed in correct locations
 - Carbon monoxide alarms installed in correct locations
 - Electrical system is grounded/bonded correctly
- **Mechanical Inspection Components:**
 - Exhaust fans are installed correctly and terminate to the outside
 - Appliances are vented correctly and have sufficient combustion air
 - Heating equipment is installed correctly and safe
 - Ductwork is installed correctly
- **Correction Notices**
 - Upon removal of the wall covering, the Building Inspector shall provide the owner or applicant with a correction notice itemizing any code or life safety violations. If the inspection reveals that the work performed meets with the applicable code year, the Building Inspector shall sign-off the applicable inspected area on the “Job Card.”
 - The owner or applicant shall make the necessary repairs and schedule a re-inspection of said work in the usual manner as described in latest adopted California Building Code.

8. Final Approval:

After the Building Inspector and any other applicable department and/or agency have approved a final inspection, the Building Inspector shall sign the final approval on the “Job Card.” This shall be the owners record of legalizing the as-built construction.

9. Policy Interpretation:

The Director of Building and/or approved Building Department designee shall have the authority for the interpretation of this policy.

Approved: _____

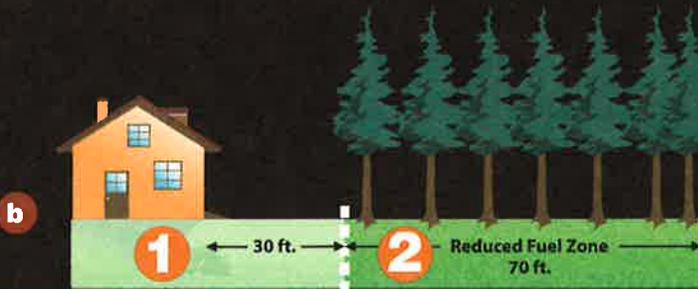
Date: _____

Craig Griesbach
Director of Building

100' DEFENSIBLE SPACE Make Your Home FIRE SAFE



or



Contact your local CAL FIRE office, fire department,
or Fire Safe Council for tips and assistance.

www.fire.ca.gov

Why 100 Feet?

Following these simple steps can dramatically increase the chance of your home surviving a wildfire!

A **Defensible Space** of 100 feet around your home is required by law.¹ The goal is to protect your home while providing a safe area for firefighters.

1 "Lean, Clean and Green Zone."

– Clearing an area of 30 feet immediately surrounding your home is critical. This area requires the greatest reduction in flammable vegetation.

2 "Reduced Fuel Zone."

– The fuel reduction zone in the remaining 70 feet (or to property line) will depend on the steepness of your property and the vegetation.

Spacing between plants improves the chance of stopping a wildfire before it destroys your home. You have two options in this area:

a Create horizontal and vertical spacing between plants. The amount of space will depend on how steep the slope is and the size of the plants.

b Large trees do not have to be cut and removed as long as all of the plants beneath them are removed. This eliminates a vertical "fire ladder."

When clearing vegetation, use care when operating equipment such as lawnmowers. One small spark may start a fire; a string trimmer is much safer.

Remove all build-up of needles and leaves from your roof and gutters. Keep tree limbs trimmed at least 10 feet from any chimneys and remove dead limbs that hang over your home or garage. The law also requires a screen over your chimney outlet of not more than ½ inch mesh.

¹ These regulations affect most of the grass, brush, and timber-covered private lands in the State. Some fire department jurisdictions may have additional requirements. Some activities may require permits for tree removal. Also, some activities may require special procedures for, 1) threatened and endangered species, 2) avoiding erosion, and 3) protection of water quality. Check with local officials if in doubt. Current regulations allow an insurance company to require additional clearance. The area to be treated does not extend beyond your property. The State Board of Forestry and Fire Protection has approved Guidelines to assist you in complying with the new law. Contact your local CAL FIRE office for more details.



DO IT ONCE...

DO IT RIGHT!



***Don't let your project get delayed ...
(or worse UNBUILDABLE) by grading a site
prior to an approval of a building (grading) permit***

Not only is it not permitted, but also can cause serious problems when not done properly:

- Newly exposed soil can erode easily, moving from areas where you want it (e.g., on the hill behind your house) to areas where you don't want it (e.g., up against your house, in a street or creek, or on a neighbor's property).
- If soil placed under a building is not compacted enough or if the density varies too much, the building may settle and suffer damage.
- Excessive grading causes loss of natural vegetation and damages other natural Resources for years to come.
- Even minor grading can change the way water drains across your property, which can cause erosion problems for a neighbor and a liability for you.
- Building sites can also be rendered unusable through incorrect grading.

Grading permits are required for all but the smallest earth-moving operations. Even when a permit is not required, you should still provide grading erosion control measures to preserve your own property and to protect adjoining properties, public roads and watersheds.

Take Note...

If the Owner/Developer violates the requirements of the County Building Standards by grading without an approved permit:

- A violation may result in delays in obtaining approval of proposed projects;
- Sensitive environmental resources may have to be partially or completely restored to their pre-grading condition at the owner expense and fees may be doubled.



NEVADA JOINT UNION HIGH SCHOOL DISTRICT

DEVELOPER FEE SCHEDULE FOR SCHOOL FACILITIES WITHIN WESTERN NEVADA COUNTY

Effective July 1, 2020

RESIDENTIAL up to \$4.08
COMMERICAL OR INDUSTRIAL up to \$0.66
Per Square Footage

Based upon Individual School Districts
within Nevada Joint Union High School District

These fees will be collected by the Nevada Joint Union High School District by check or money order. Please bring a copy of your building permit application with you. Upon receipt, the School District will issue a certificate of compliance. The certificate of compliance must be presented to the Nevada County Building Department prior to permit issuance. For questions and clarification, please contact the School District directly.

Please contact Iva Lee to schedule an appointment

By Phone: 530.273.3351 Extension 3202

By email: ilee@njuhsd.com

11645 Ridge Rd, Grass Valley, CA 95945

website: www.njuhsd.com



WESTERN NEVADA COUNTY FIRE DISTRICTS



Higgins Fire District, 10106 Combie Rd, Auburn, CA
Phone: 530.269-2488 Office Hours: Mon-Fri 8am to 5pm

Nevada County Consolidated Fire District, 640 Coyote St, Nevada City, CA
Phone: 530.265.4431 Office Hours: Mon-Fri 8am to 5pm

North San Juan Fire Protection District, 13200 Tyler Foote Rd, Nevada City, CA
Phone: 530.292.9159 Office Hours: Mon-Fri 10am to 3pm

Ophir Hill Fire Protection District, 12668 Colfax Highway, Cedar Ridge, CA
Phone: 530.273.8351 Office Hours: Call for appointment

Peardale-Chicago Park Fire Protection District, 18934 Colfax Highway, Grass Valley, CA
Phone: 530.273.2503 Office Hours: Mon-Fri 8:30am to 12pm

Penn Valley Fire Protection District, 10513 Spenceville Road, Penn Valley, CA
Phone: 530.432.2630 Office Hours: Mon-Fri 8am to 4:30pm

Rough & Ready Fire Department, 14506 Rough & Ready Hwy, Rough & Ready, CA
Phone: 530.432.1140 Office Hours: Call for appointment

Local fire districts have implemented a development mitigation fee to fund capital improvements within their districts. This fee varies per district and is required to be paid prior to permit issuance. In order to assess the fee, the fire district will need a copy of your building permit application. If you are unsure of your local district, please refer to your tax bill or contact the Building Department at 530.265.1222.

Preferred payment method is by check. Most locations accept cash in the exact amount only. No credit cards accepted.

DID YOU KNOW THAT 65% OF CONSTRUCTION WASTE MUST BE DIVERTED?

WASTE MANAGEMENT OF NEVADA COUNTY IS HERE TO HELP

We have the experience and resources to help you meet California's C & D waste reduction requirements. Our compliment of services will help simplify local and state regulations and ensure your project is in compliance. We delivery local solutions backed with the knowledge and resources of Waste Management, the nation's largest recycler.

RECYCLING

Glass **Tin**
Plastics **Paper**
Aluminum **Cardboard**



CONSTRUCTION & DEMOLITION (C&D)

Asphalt (roads and roofing shingles)
Brick
Carpet
Doors
Concrete (4" or smaller)
Glass
Linoleum
Metal
Plastics

Plumbing fixtures (sinks, toilets, etc.)
PVC piping
Sheetrock
Sheet insulation
Windows
Wood (including painted)
Inerts (small rocks, dirt and fines)
Tile

NOT ACCEPTED:
 Treated wood waste including pressure treated wood, telephone poles and railroad ties.



YARD WASTE

Yard trimmings **Pine needles**
Grass **Brush**
Tree branches
Leaves



HOUSEHOLD HAZARDOUS WASTE

Chemicals
Batteries
Florescent lights
Paint

Public: Fri. - Sun.
Businesses: call 530-274 -0120 for an appointment.
 Fees may apply.



METAL

Anything with a cord and no digital display (vacuums, electric tools, etc.)
Appliances with or without Freon
Electrical wire (Christmas lights, extension cords, etc.)
Heavy metal items (cast iron tubs, motors, stoves, etc.)
Gas operated tools (weed eaters, saws, mowers, BBQ's, etc.)



ELECTRONICS

Computers
Monitors
Printers
Electronic accessories such as keyboard, mouse, speaker, etc.
Televisions
VCR's and DVD player
Stereos
Cable boxes

Fax machines,
Copiers
Toner cartridges
Phones
Microwaves
Electric alarm clocks

E-waste accepted Wed. - Sun at the HHW facility only.



Contact us today to schedule a free job site assessment, (530) 274-3090

McCourtney Road Transfer Station
 14741 Wolf Mountain Road
 Grass Valley, CA 95949

Hours of Operation
 Wednesday - Sunday · 8 a.m. to 3:30 p.m.

